

Jefferson County Industrial Development Agency

800 Starbuck Avenue, Suite 800
Watertown, New York 13601
Telephone 315-782-5865 / 800-553-4111
Fax 315-782-7915
www.jcida.com

TO: JCIDA Building and Grounds Ad Hoc Committee
John Condino, Chair
David Converse
Lisa L'Huillier
Rob Aiken
Paul Warneck
Robert E. Aliasso, Jr.

FROM: Marshall Weir, CEO

DATE: September 14, 2026

SUBJECT: JCIDA Building and Grounds Ad Hoc Committee Meeting

A JCIDA Building and Grounds Committee meeting has been scheduled for **Monday, September 21, 2026 at 8:00 a.m.**

The live stream link is available at www.jcida.com.

Zoom:

<https://us02web.zoom.us/j/84355250468?pwd=R0t4VjRPdGJBZDJrL2JQYVVVjKytDdz09>

Meeting ID: 843 5525 0468

Passcode: 011440

1-929-205-6099 US (New York)

Please confirm your attendance with Peggy Sampson pssampson@jcida.com at your earliest convenience.

Thank you.

pss

c: Jay Matteson
Dorena Kimball
W. Edward Walldroff
Hon. William Johnson
Dr. Dawn Robinson
Charles Capone
Media

Jefferson County Industrial Development Agency
800 Starbuck Avenue, Suite 800
Watertown, New York 13601
Telephone: (315) 782-5865 or (800) 553-4111 Facsimile (315) 782-7915
www.jcida.com

JCIDA BUILDING AND GROUNDS AD HOC COMMITTEE
Monday, September 21, 2026
8:00 a.m.

AGENDA

- I. Call to Order**
- II. Pledge of Allegiance**
- III. Jefferson County Corporate Park**
 - 1. Review Parcel No. 73.20-1-2.11 RFP's**
- IV. Other/Unfinished business**
- V. Adjournment**



Jefferson County Industrial Development Agency
800 Starbuck Avenue, Suite 800, Watertown, New York 13601
Phone: 315.782.5886 / Fax: 315.782.7915
www.JCIDA.com

REQUEST FOR PROPOSALS (RFP)

SALE AND DEVELOPMENT OF REAL PROPERTY

Parcel No. 73.20-1-2.11

The Jefferson County Industrial Development Agency is soliciting proposals from qualified developers, investors, businesses, and interested parties for the purchase and redevelopment of Parcel No. 73.20-1-2.11 (the "Property") located on County Route 200 in the Town of Watertown. This property is inside the Jefferson County Corporate Park and subject to all zoning and covenants assigned to all properties within the boundaries of the Corporate Park.

An independent appraisal completed in 2023 established the fair market value of the Property at **\$140,000**.

Property Information

- Parcel Number: 73.20-1-2.11
- Location: County Route 200, Town of Watertown
- Current Zoning: Light Industrial
- Approximate Acreage: 7.35
- Condition: Property offered "as-is, where-is"

Development Objectives

The issuing agency seeks proposals that promote productive use of the Property and provide economic and community benefit. Potential uses may include:

- Commercial Development
- Industrial or Manufacturing Uses
- Warehousing/Distribution

Preference may be given to projects that create jobs, increase the tax base, leverage private investment, and align with local development goals.

Proposals should include:

- Developer/Company Information
- Description of Proposed Development
- Proposed Purchase Price
- Estimated Project Investment and Financing Plan
- Project Timeline
- Economic Impact (jobs, investment, tax revenue, etc.)
- Relevant Experience and References

Proposals will be evaluated based on:

- Purchase Price
- Financial Capability
- Development Feasibility
- Economic Impact
- Project Timeline
- Compatibility with Community Goals

Proposals must be received no later than:

9/1/2026

Submit proposals electronically or by mail to:
Marshall Weir
CEO
Jefferson County Industrial Development Agency
800 Starbuck Avenue
Watertown, NY 13601
mweir@jcida.com
315 782 5865
Please label submissions:
"RFP – Parcel No. 73.20-1-2.11"

Reservation of Rights

The Jefferson County Industrial Development Corporation reserves the right to reject any or all proposals, waive informalities, request additional information, negotiate with respondents, or terminate the RFP process at any time. Issuance of this RFP does not obligate the agency to sell the Property.

For additional information or to request supporting materials, please contact the individual listed above.

THE
LUNDY GROUP
OF COMPANIES

August 25, 2026

Mr. Marshall Weir, CEO
Jefferson County Economic Development
800 Starbuck Avenue
Watertown, NY 13601

Re: Proposal to Purchase Lot 3

Dear Marshall:

Enclosed please find the proposal for the acquisition and redevelopment on Lot 3, parcel # 73.20-1-2.11 on County Route 200 in the Jefferson County Corporate Park.

As you are aware, I am very familiar with this site and have a tremendous amount of history in both the development of the Jefferson County Corporate Park and the former Industrial Park, as well as a 40 year background with the design and construction of many industrial projects in Jefferson County.

Enclosed please find our:

- Background and experience in the Industrial and Corporate Parks
- History with Spec Building projects
- Background on Design/Build Industrial construction projects

Once you have reviewed our proposal, I will be glad to sit with you and your Board to review it, go over any details, and answer any questions.

I look forward to your favorable reply.

Respectfully,

Michael E. Lundy
Lundy Group of Companies

Michael E. Lundy - CEO
20053 Summit View Blvd, Watertown, NY 13601
PH: 315-493-2493 Fax: 315-493-2004

Table of Contents

Lot 3 – Corporate Park

8-25-2026

1. Proposal for Acquisition and Redevelopment of Lot 3
2. Background and History:
 - a. Background and experience in the Industrial and Corporate Parks
 - b. History with Spec Building Projects
 - c. Background with Design/Build Industrial Construction Projects
3. Drawings:
 - a. C101 – Master Site Plan
 - b. C102 – Phase I Site Plan
 - c. C201 – Building Elevation
 - d. C202 – Building Elevation
4. MBL Engineering Lot 10 and Lot 11 in the Corporate Park Approved Site Plan Package

Lundy Group of Companies

20053 Summit View Blvd.
Suite 4
Watertown, NY 13601
P: 315-493-2493
F: 315-493-2004
mlundy@mlundygroup.com

**Acquisition and Redevelopment of
Lot 3
In the
Jefferson County Corporate Park**

To:

**Marshall Weir, CEO
Jefferson County Economic Development
800 Starbuck Avenue
Watertown, NY 13601**

Submitted by:

**Michael E. Lundy, CEO
Lundy Group of Companies**

April 25, 2026

REDEVELOPMENT SCOPE OF WORK

The development of Lot 3 will commence with, and be contingent upon, the construction of an industrial "spec" building on Lot 11, located across the street in the Corporate Park.

Lot 11 is owned by The Lundy Group of Companies and we currently have contingent site plan approval to build a 20,000 square foot industrial spec building on that site.

We previously disassembled the Butler Building on the former Bomax property and intend to rebuild that Butler Building as the spec building on Lot 11.

A preliminary set of plans have been included for your reference.

The spec building will be designed in a manner to allow for expansion on both ends to increase the building size to 50,000 square feet.

Once the first phase is constructed, we will make the site shovel ready for that future expansion.

The Lot 11 site work will generate a substantial amount of fill which will be needed to develop Lot 3.

I am very familiar with the challenging conditions associated with Lot 3. Over the years, we have had several clients evaluate the site for potential projects, but we were ultimately unable to move any of them forward, primarily due to the extensive requirements necessary to make the site usable.

The site has over 10' of topography from the southeast corner to the northwest corner. We have done rock testing and have completed a rock topography of the site. The rock depth varies substantially. There are some areas where the rock is shallow to grade and other areas where it is very deep.

In order to make the site usable for an industrial project, the rock will need to be cut and removed from some areas, and substantial fill will be needed in other areas.

We believe the best use of the property is warehouse or distribution and, with proper site design, we could accommodate up to a 100,000 square foot building and still be able to provide employee parking and tractor trailer access.

One concern is that the truck docks would most likely need to face County Route 200, which may require variance approval from the Corporate Park occupants to be in compliance with the Covenants and Restrictions.

We feel that with these approvals and proper site design, this could be a very usable and valuable property to develop.

REDEVELOPMENT SCOPE OF WORK (continued)

The priority would be to complete the site design and approval process for a warehouse/distribution center on Lot 3. This would include obtaining the necessary variances and securing all required approvals from the JCIDA and the Corporate Park occupants as well as the Town Planning Board.

Once we have an approved site plan and the required approvals are in place, we would proceed with closing on the purchase of the property from the JCIDA.

Once we close on the property, we can initiate construction on Lot 11 and coordinate the site provisions for Lot 3 with the work on Lot 11.

Ideally, site requirements for Lot 11 would be initiated by the first quarter of 2027. Construction of the spec building on Lot 11 would begin by the third quarter of 2027 for occupancy by the summer 2028. Site work for Lot 3 would be in conjunction with Lot 11 with completion of the remaining Lot 3 site work by fall 2028.

It is our intention to initiate marketing on both the Lot 11 and Lot 3 projects as soon as the Lot 3 site plan is approved.

TERMS AND CONDITIONS

If our proposal is acceptable, we will provide a concept site plan for the JCIDA's approval.

Closing on Purchase upon all formal site approvals.

PURCHASE AMOUNT AS FOLLOWS:

Lump Sum at Closing - \$10,000 per acre = \$73,500

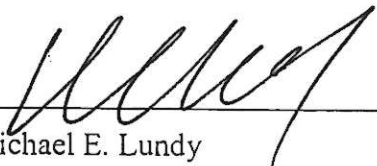
or

Three (3) payments of \$35,000 due first quarter 2027, 2028, 2029

This proposal is subject to acceptance by October 30, 2026.

Respectfully submitted:

Accepted:



Michael E. Lundy
The Lundy Group of Companies

Marshall Weir, CEO
Jefferson County Economic Development



Date

Date

Design/Build Experience in the Jefferson County Industrial and Corporate Parks

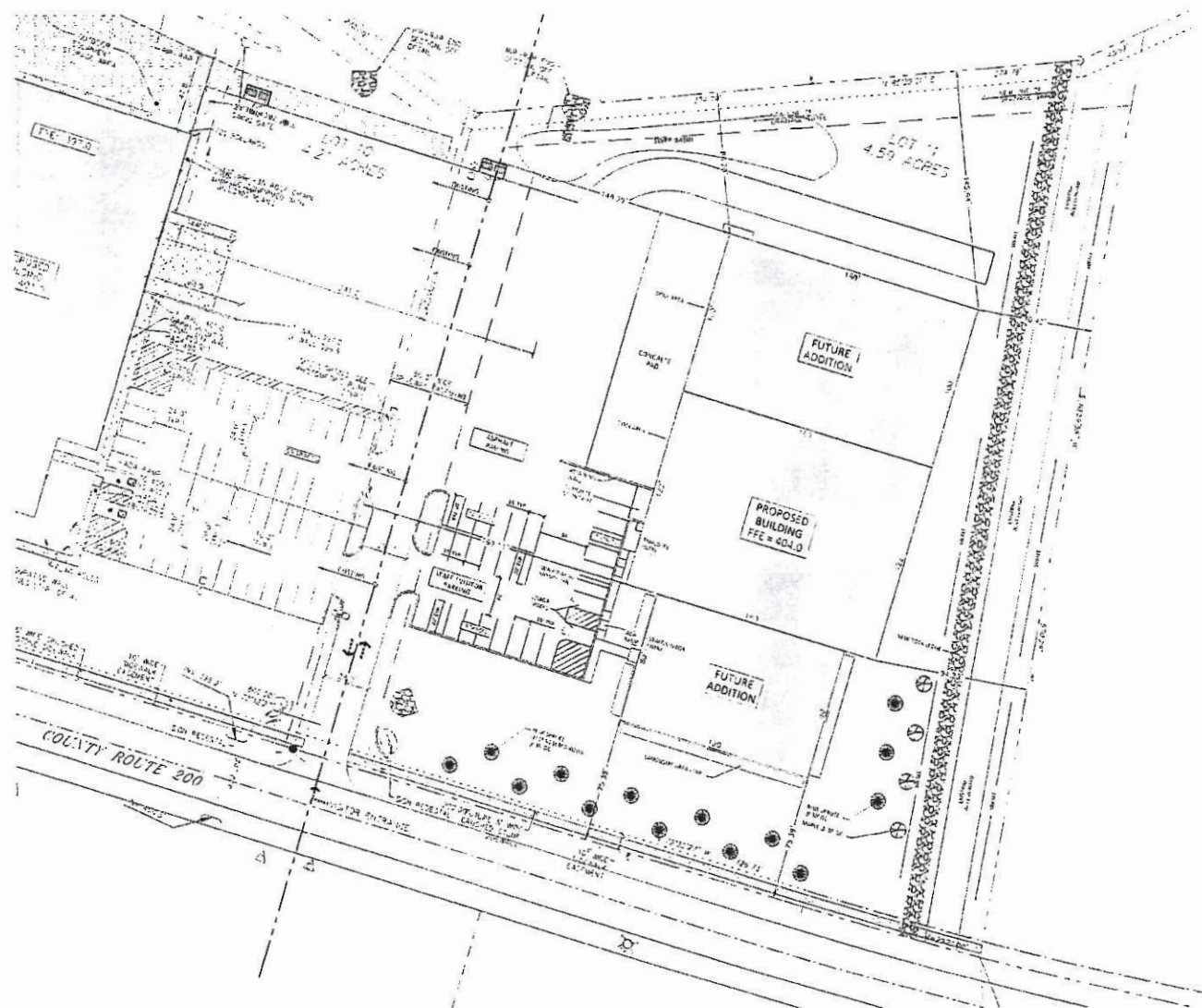
- 1976 Design and Construction of the original Stature Electric facility
- 1978 Design and Construction of the original Industrial Park Spec building
(Became McGraw Paper)
- 1990 Design and Construction of the original Car Freshner manufacturing facility in the Industrial Park
 - 1992 Car Freshner manufacturing facility addition in the Industrial Park
 - 1997 Car Freshner manufacturing facility addition in the Industrial Park
 - 2001 Car Freshner manufacturing facility addition in the Industrial Park
- 1992 Expansion of Stature Electric facility
- 1998 Renovation of Car Freshner Distribution facility
- 1999 Expansion of Car Freshner Distribution facility
- 2000 Phase I Road and Infrastructure expansion to the new Corporate Park
- 2001 Assisted JCIDA for grant funding for Phase II of the Road and Infrastructure in the Corporate Park
- 2012 Purchase of Lots 10, 11, and 12 in the Corporate Park
- 2012 Sale and Approval Process of Lot 12 for FedEx Distribution Center
- 2013 Design and Construction of Spec Building on Lot 2A in the Corporate Park
- 2015 Renovation of Lot 2A for Penske Trucking
- 2024 Lot 10 Site Plan Approval Process and Sale to the Lawman Group
- 2025 Lot 11 Contingent Site Plan Approval

History of Experience with Spec Buildings

- 1978 15,000 s.f. Original Jefferson County Industrial Park Spec Building
(Became McGran Paper)
- 2014 10,000 s.f. Spec Building on Lot 2A in the Corporate Park
(Became Penski Trucking)
- 2010 5,000 s.f. Millcreek Commerce Park Spec Building in Lewis County
(Became Sherwin Williams store and warehouse)
- 2006 20,000 s.f. Speck Building at Center City Industrial Park
(Became Roth Industries)
- 2008 20,000 s.f. Spec Building at Center City Industrial Park
(became Current Applications)
- 2008 10,000 s.f. Spec Building at Washington Summit
(became a multi-tenant medical facility)

Design/Build Experience of Other Industrial Projects

Allied Motion (was Stature Electric)
AMF Bowling (multiple projects)
Car Freshner Corporation (multiple projects)
Cazenovia Equipment (John Deere)
Champion Paper Mfg. (multiple projects)
Climax Paper Mfg. (multiple projects)
Corporate Federal Express
Eagle Beverage (Oswego Distribution Center)
Eagle Beverage (Watertown cross-dock)
First Student Busing (Watertown)
First Student Busing (Ogdensburg)
Crownzellerback/James River Paper (multiple projects)
Kinney Drugs Distribution
Kraft Foods (multiple projects)
Otis Technology (multiple projects)
Paine Jones Paper (multiple projects)
Seith Energy
Potsdam Paper


$$\text{Scm } 1'' = 30'$$

C101

[illegible]

CITY OF WATERTOWN - JEFFERSON COUNTY
STATE OF NEW YORK

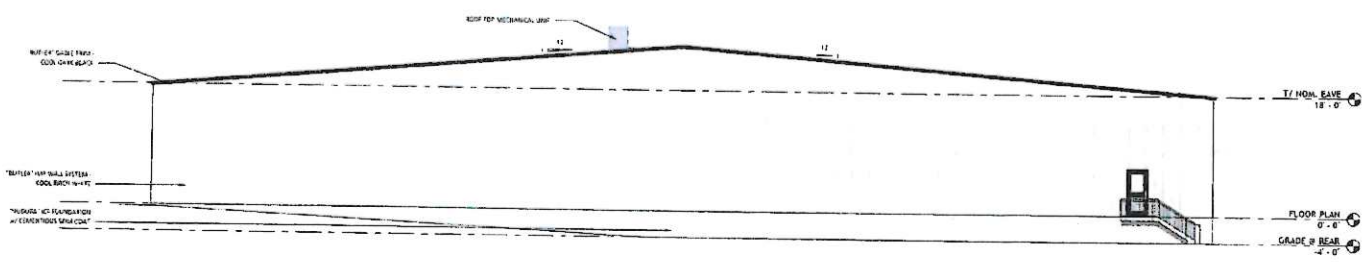
JOB NO.	2000-25-187
ISSUE DATE.	11/05/2025
DRAWN BY:	A. PRICH
CHECKED BY:	Checker
APPROVED BY	TRD
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1. West Architectural Building Elevation
 1/8" = 1'-0"



1. North Architectural Building Elevation
 1/8" = 1'-0"

THE
 LUNDY GROUP
 OF COMPANIES

THIS DRAWING IS THE PROPERTY OF THE LUNDY GROUP OF COMPANIES. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF THE LUNDY GROUP OF COMPANIES.

DATE	
REVISION	
BY	
CHECKED	
APPROVED	

LOT 11 SPEC BUILDING

CITY OF WATERTOWN - JEFFERSON COUNTY
 STATE OF NEW YORK

SHEET TITLE
 BUILDING ELEVATIONS

ADDRESS
 LOT 11 CORPORATE PARK
 WATERTOWN, NY

PRELIMINARY NOT FOR
 CONSTRUCTION



JOB NO.	2000-25-113
DATE	12/01/2003
DESIGNED BY	B. HEDGECOCK
CHECKED BY	CHEN
APPROVED BY	TED
SCALE	1/8" = 1'-0"
DRAWING NO.	

A202

CONTRACT DRAWINGS



LOCATION PLAN
NOT TO SCALE

LAWMAN FACILITY LOT 10 & 11 CORPORATE PARK

INDEX TO DRAWINGS

	COVER SHEET
C-001	GENERAL NOTES & OVERALL SITE PLAN
C-101	ENLARGED SITE PLAN
C-102	SITE UTILITY PLAN
C-103	SITE GRADING & DRAINAGE PLAN
C-104	SITE LANDSCAPE PLAN
C-105	ESC PLAN
C-501	ESC DETAILS
C-502	MISCELLANEOUS DETAILS
C-503	MISCELLANEOUS DETAILS

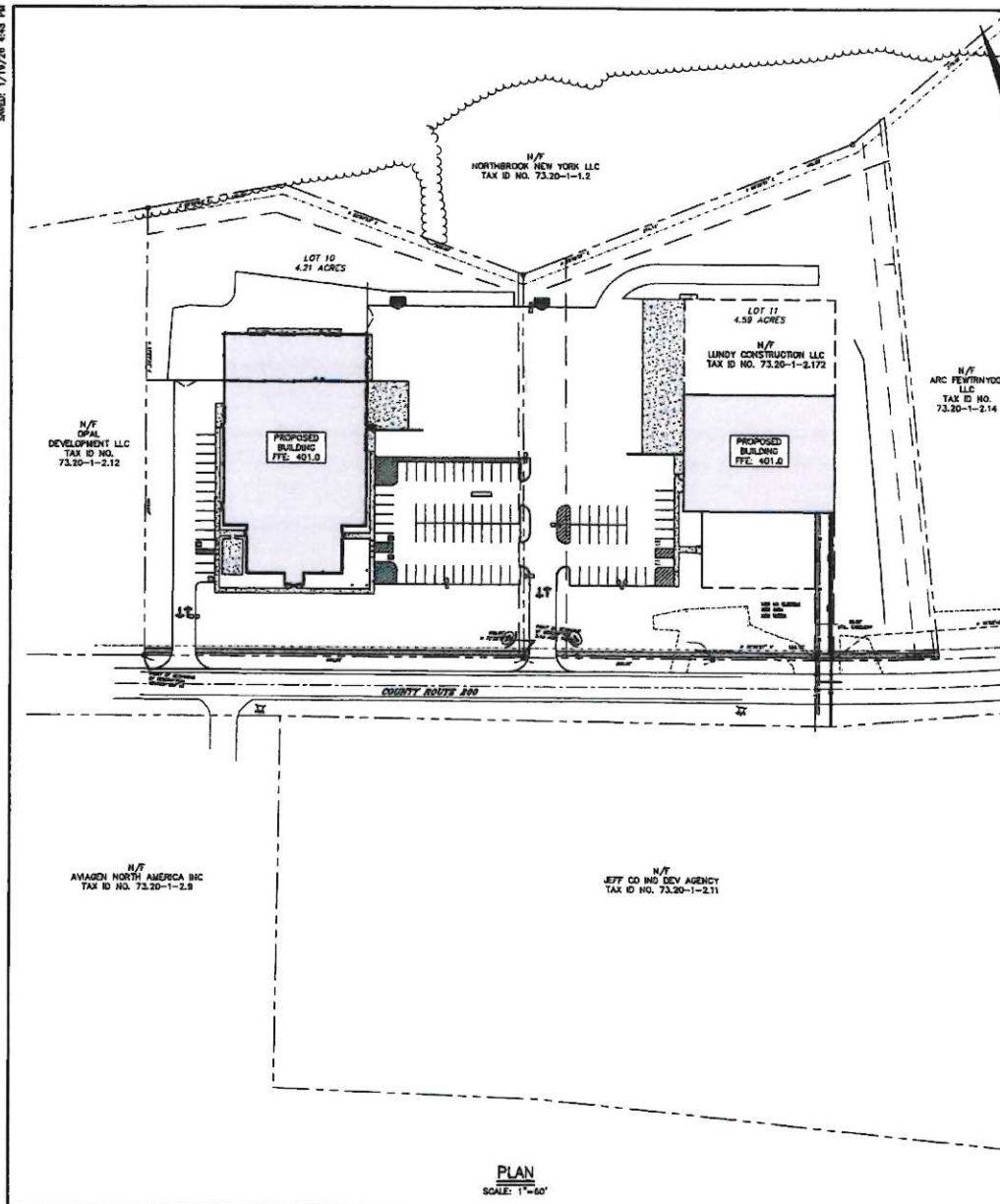
4XL, LLC
COUNTY ROUTE 200
TOWN OF WATERTOWN
JEFFERSON COUNTY

REVISED JANUARY 15, 2026

MBL
ENGINEERING, PLLC

MBL ENGINEERING, PLLC
16510 BALCH PLACE
MANNSVILLE, NY 13661

DATE: 1/14/20 4:45 PM



SITE NOTES:

1. THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL NOTIFY THE SHELBY COUNTY (1.800.862.7562 OR 811) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, INCLUDING ANY EXCAVATION AND TEST BORINGS ACCORDING TO CODE RULE 753. THE CONTRACTOR SHALL COMPLY WITH THE SHELBY COUNTY AND THE OWNER PRIOR TO INITIATION OF CONSTRUCTION ACTIVITIES AND SHALL PROVIDE AT LEAST 72 HOURS NOTIFICATION.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK AFFECTING UTILITIES WITH THE RESPECTIVE UTILITY OWNER INCLUDING THE TOWN OF WATERTOWN FOR THE SANITARY CONNECTIONS. ALL DETAILS OF CONSTRUCTION AND/OR RELOCATION OF AFFECTED UTILITIES SHALL BE APPROVED BY THE UTILITY OWNER, THE OWNER AND OTHER APPROVING AGENCIES.
3. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE EROSION & SEDIMENT CONTROL PLAN, AND STORMWATER POLLUTION PREVENTION PLAN.

SURVEY NOTES:

1. TOPOGRAPHIC & PLANNING INFORMATION SHOWN HEREIN PLOTTED FROM FIELD SURVEY PERFORMED BY LAFAYETTE WHITE & MCGOVERN, L.S., P.C.
2. SUBJECT TO ANY AND ALL EASEMENTS OF RECORD AND/OR AS FOUND IN THE FIELD.
3. VERTICAL DATUM BASED ON NAD83/1988. HORIZONTAL DATUM BASED ON NAD83. NEW YORK STATE PLANE COORDINATES, CENTRAL ZONE.

GENERAL UTILITIES:

1. THE APPROXIMATE LOCATION OF ALL KNOWN EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLAN. THE CONTRACTOR SHALL VERIFY THE TRUE LOCATION AND DEPTH PRIOR TO COMMENCING WORK. BEFORE ANY PIPE IS INSTALLED, THE CONTRACTOR SHALL UNCOVER ALL EXISTING UTILITIES AT PROPOSED PIPE CROSSINGS TO ENSURE THE OWNER'S REPRESENTATIVE TO VERIFY NO CONFLICTS OF UTILITY LOCATIONS SHALL OCCUR. IN THE EVENT A CONFLICT OR POTENTIAL CONFLICT IS IDENTIFIED, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
2. THE CONTRACTOR SHALL VERIFY LOCATION, SIZE AND JOINT TYPE OF EXISTING PIPES AT CONNECTION LOCATIONS PRIOR TO CONSTRUCTION, TO ENSURE AN APPROVED COMPATIBLE CONNECTION.

DRAINAGE:

1. STORM SEWER PIPE SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE DRAINAGE PIPE WITH MANHOLES 18" OR LESS (ADS N-12 OR APPROVED EQUAL).
2. ALL STRUCTURES AND APPURTENANCES SHALL BE DESIGNED FOR H25 LOADINGS.
3. FRAMES AND GRATES SHALL BE AS NOTED ON RESPECTIVE DETAILS.
4. ALL EXISTING DRAINAGE FACILITIES TO REMAIN SHALL BE MAINTAINED FREE OF DEBRIS AND FOREIGN MATTER AND OPERATIONAL THROUGHOUT THE DURATION OF THE CONTRACT.
5. ALL PROPOSED CATCH BASINS AND MANHOLE RIMS TO BE ADJUSTED TO FINISHED GRADE ELEVATION, AS REQUIRED.

SANITARY SEWER:

1. CONTRACTOR SHALL NOT DIRECT SURFACE OR SUBSURFACE WATER TO THE SANITARY SEWER SYSTEM WITHOUT WRITTEN PERMISSION AND IN COMPLIANCE WITH THE REQUIREMENTS OF THE TOWN OF WATERTOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH DISPOSAL OF WATER.
2. ALL STRUCTURES AND APPURTENANCES SHALL BE DESIGNED FOR H25 LOADINGS EXCEPT WETTED YARDS.
3. ALL SANITARY SEWER PIPE SHALL BE SDR-35.
4. LETTERING ON MANHOLE COVERS TO READ "SANITARY SEWER". MANHOLE RIMS ARE TO BE ADJUSTED TO MEET FINISHED GRADE ELEVATION.

WATERMAIN:

1. WATER SERVICE SHALL BE AS NOTED IN SCHEDULE.

PIPE SCHEDULE	
WATER	HDPE DR-11
SANITARY	SDR-35
STORM	SICPP ADS N-12 WY

GRADING:

1. ALL GRADED OR DISTURBED AREAS INCLUDING SLOPES SHALL BE PROTECTED DURING CLEARING AND CONSTRUCTION IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PLAN UNTIL THEY ARE ADEQUATELY STABILIZED. NO TREES CAN BE CLEARED DURING THE INDIANA BAT SEASON 8" CALIBER OR LARGER.
2. AREAS SCHEDULED FOR EMBANKMENT SHALL BE CLEARED, GRUBBED AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS OR OTHER OBJECTIONABLE MATERIAL.
3. ALL EMBANKMENTS SHALL BE COMPACTED AS SPECIFIED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.
4. ALL EMBANKMENT MATERIALS SHALL BE PLACED AND COMPACTED IN LAYERS NOT TO EXCEED 8 INCHES IN THICKNESS.
5. FROZEN MATERIAL OR SOFT, MUCKY OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO EMBANKMENT SLOPES OF STRUCTURAL FILLS.
6. ALL DISTURBED AREAS WILL BE RESTORED IN ACCORDANCE WITH THE SOIL RESTORATION REQUIREMENTS IN TABLE 5.3 OF THE STORMWATER DESIGN MANUAL.

STABILIZATION WITH MULCH:

1. PROTECTIVE MATERIALS:
 - A. UNROTTED SMALL-GRAIN STRAW OR SALT HAY SHALL BE SPREAD UNIFORMLY AT 90 TO 115 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BRIDGES OR NETTING TIES.
 - B. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED, UNDER SUITABLE CONDITIONS AND IN SUFFICIENT QUANTITIES.
 - C. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHER.
 - D. MULCH NETTING, SUCH AS PAPER JUTE, EXCELOR, COTTON OR PLASTIC MAY BE USED.
 - E. EXCELOR MATTING SHALL BE USED ON SLOPES OF 1:4 OR STEEPER.
2. MULCH ANCHORING:
 - A. PEG AND TWINE - DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE AND AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CROSS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
 - B. MULCH NETTINGS - STAPLE PAPER, COTTON OR PLASTIC NETTINGS OVER HAY OR STRAW MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4 FEET WIDE AND UP TO 300 FEET LONG.

REV	DATE	DESCRIPTION
1	1/15/24	ISSUED FOR PERMITTING
2	1/15/24	ISSUED FOR PERMITTING
3	1/15/24	ISSUED FOR PERMITTING
4	1/15/24	ISSUED FOR PERMITTING
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GENERAL NOTES &
OVERALL SITE PLAN

MBL
ENGINEERING, PLLC

LAWMAN FACILITY
LOT 10 & 11 - CORP. PARK
TOWN OF WATERTOWN
JEFFERSON COUNTY

PROJECT #
22-312

DATE:
NOVEMBER 2022

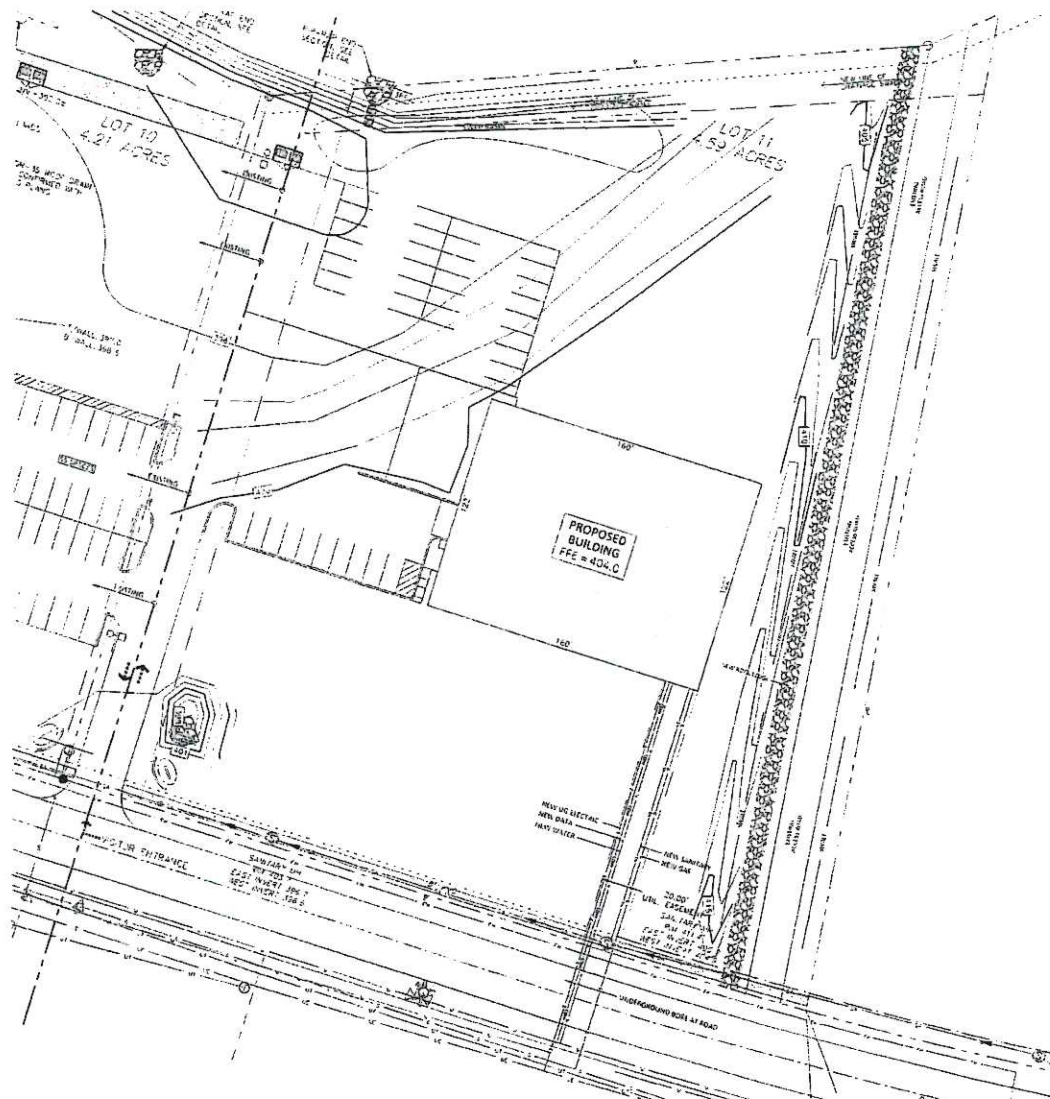
SHEET #
C-001



1"=60'

THIS DRAWING WAS PREPARED AT THE SCALE INDICATED IN THE TITLE BLOCK. UNLESS OTHERWISE NOTED, ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE LINE OR TO THE FACE OF THE LINE, UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE LINE OR TO THE FACE OF THE LINE, UNLESS OTHERWISE NOTED. DIMENSIONS SHALL BE MEASURED TO THE CENTERLINE OF THE LINE OR TO THE FACE OF THE LINE, UNLESS OTHERWISE NOTED.

IF IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ADAPT THIS DOCUMENT.



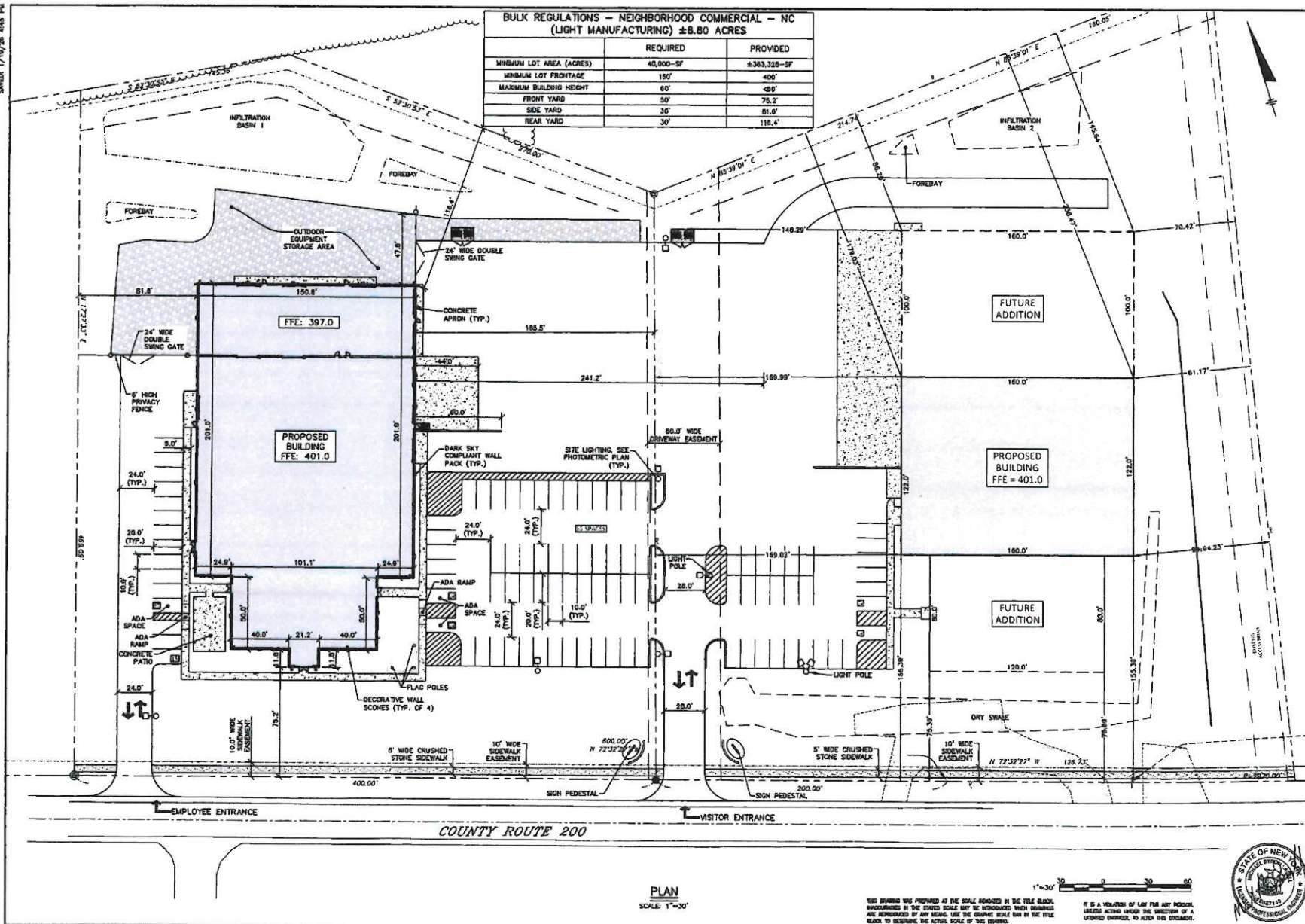
NOTES:

- VERIFY UTILITY LOCATIONS & COORDINATE w/ LOT 10 CONSTRUCTION
- BLEND GRADES AT LOT 10 TO FINAL GRADES AT ROAD EASEMENT / LOT 10

1 PHASE 1 UTILITY & GRADING PLAN

DATE: 1/18/20 4:48 PM

BULK REGULATIONS - NEIGHBORHOOD COMMERCIAL - NC (LIGHT MANUFACTURING) ±8.80 ACRES		
	REQUIRED	PROVIDED
MINIMUM LOT AREA (ACRES)	40,000-SF	6,383,328-SF
MINIMUM LOT FRONTAGE	150'	400'
MAXIMUM BUILDING HEIGHT	60'	48'
FRONT YARD	50'	75.2'
SIDE YARD	30'	81.8'
REAR YARD	30'	118.4'



F	1/18/20	LOT 11	REDACTED UPDATE
E	1/17/24	REVISED BUILDING FOOTPRINT	STATIONARY
D	8/4/24	REVISED FINISHED FLOOR ELEVATION	
C	9/12/24	REVISED SITE	
B	3/19/24	REVISED BUILDING LOCATION	
A		DATE	DRAWING RELEASE

ENLARGED
SITE PLAN

MBL
ENGINEERS, P.C.

LAWMAN FACILITY
LOT 10 & 11 - CORP. PARK
TOWN OF WATERTOWN
JEFFERSON COUNTY

PROJECT #
27-317

DATE:
NOVEMBER 2022

SHEET #
C-101

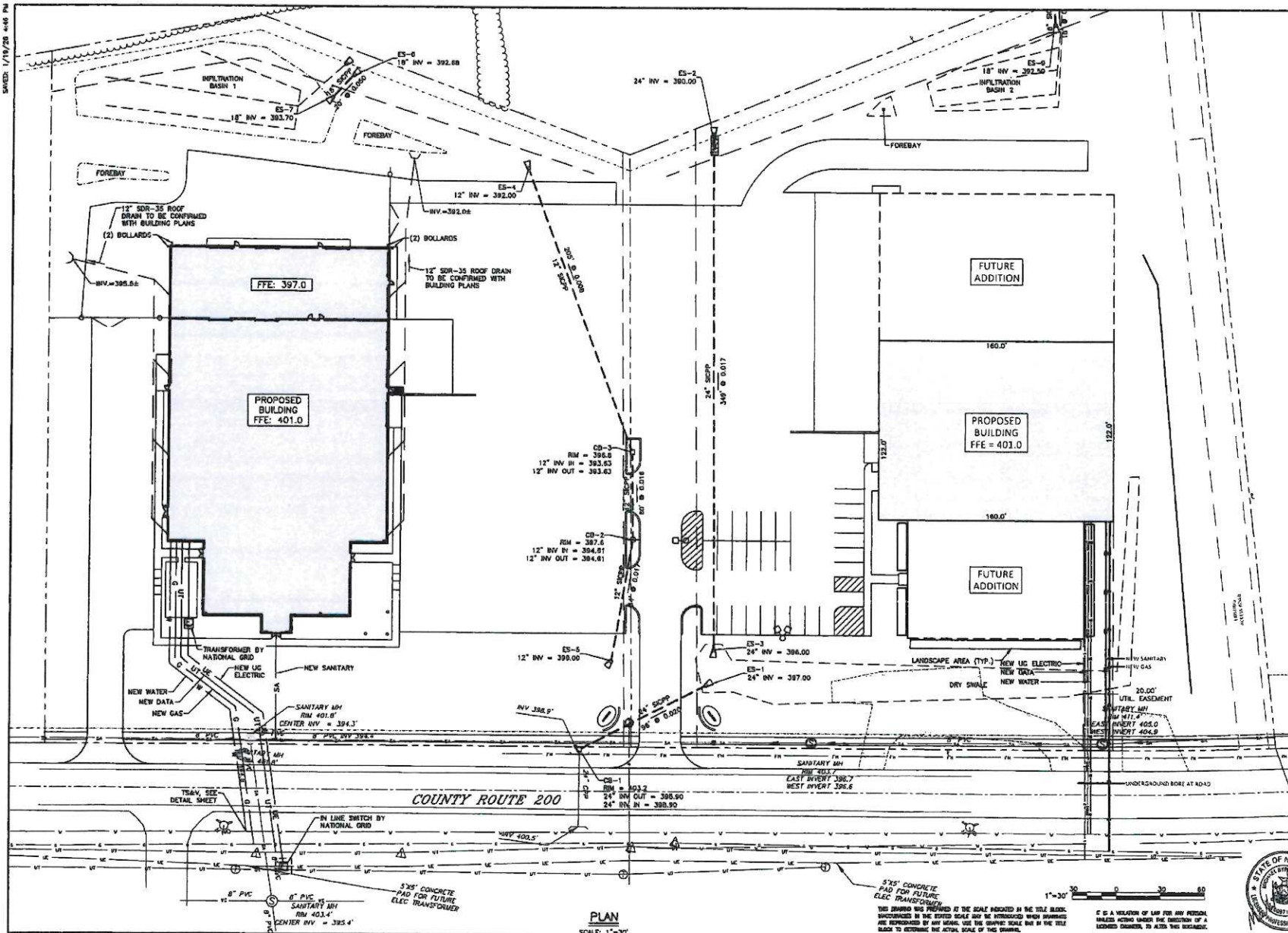


PLAN
SCALE 1"=30'

THIS DRAWING WAS PREPARED AT THE SCALE INDICATED BY THE TITLE BLOCK. DIMENSIONS IN THE FIELD SCALE MAY BE INTRODUCED INTO DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR IN THE TITLE BLOCK TO DETERMINE THE ACTUAL SCALE OF THIS DRAWING.

IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ENGINEER, TO ADAPT THIS DOCUMENT.

DATE: 1/18/2024 4:45 PM



REV	DATE	DESCRIPTION
F	1/18/24	LOT 11 BUILDING UPDATE
C	1/18/24	BUILDING FOOTPRINT/STORMWATER
D	6/4/24	REVISED FINISHED FLOOR ELEVATION
C	9/12/24	LOWERED SITE
B	3/18/24	REVISED BUILDING LOCATION
NO		DATE
		DRAWING RELEASE

SITE UTILITY PLAN

MBL
ENGINEERING, P.C.

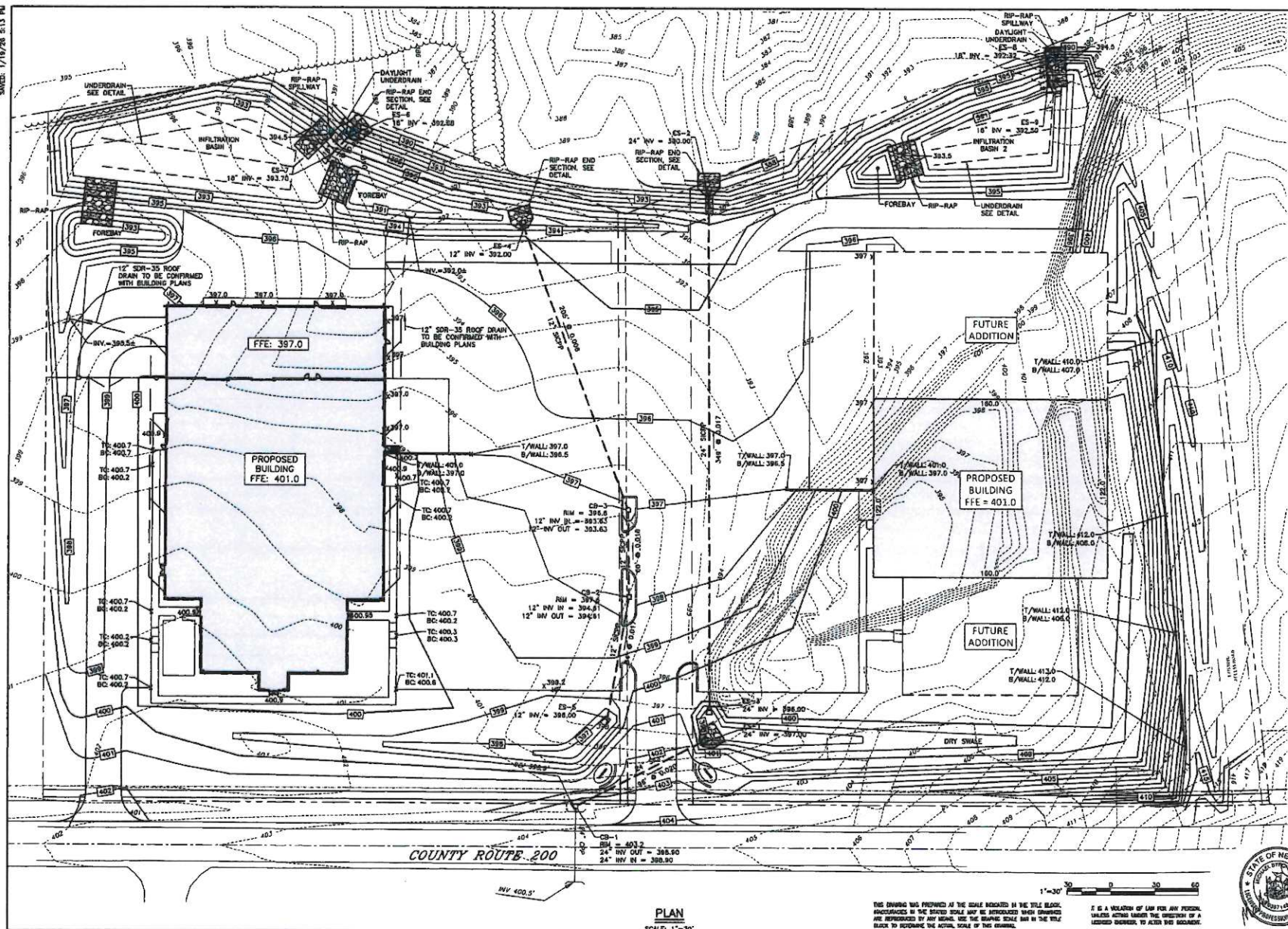
LAWMAN FACILITY
LOT 10 & 11 - CORP. PARK
TOWN OF WATERTOWN
JEFFERSON COUNTY

PROJECT #
22-312

DATE:
NOVEMBER 2022

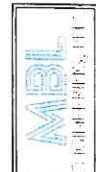
SHEET #
C-102





F	1/13/26	LOT 11 BUILDING UPDATE
C	11/7/24	REVISED BUILDING FOOTPRINT/STORMWATER
D	8/6/24	LOWERED FINISHED FLOOR ELEVATION
C	5/13/24	REVISED SITE
B	3/18/24	REVISED BUILDING LOCATION
NO.	DATE	DRAWING RELEASE

**SITE GRADING
& DRAINAGE
PLAN**



LAWMAN FACILITY
LOT 10 & 11 - CORP. M
TOWN OF WATERTOWN
JEFFERSON COUNTY

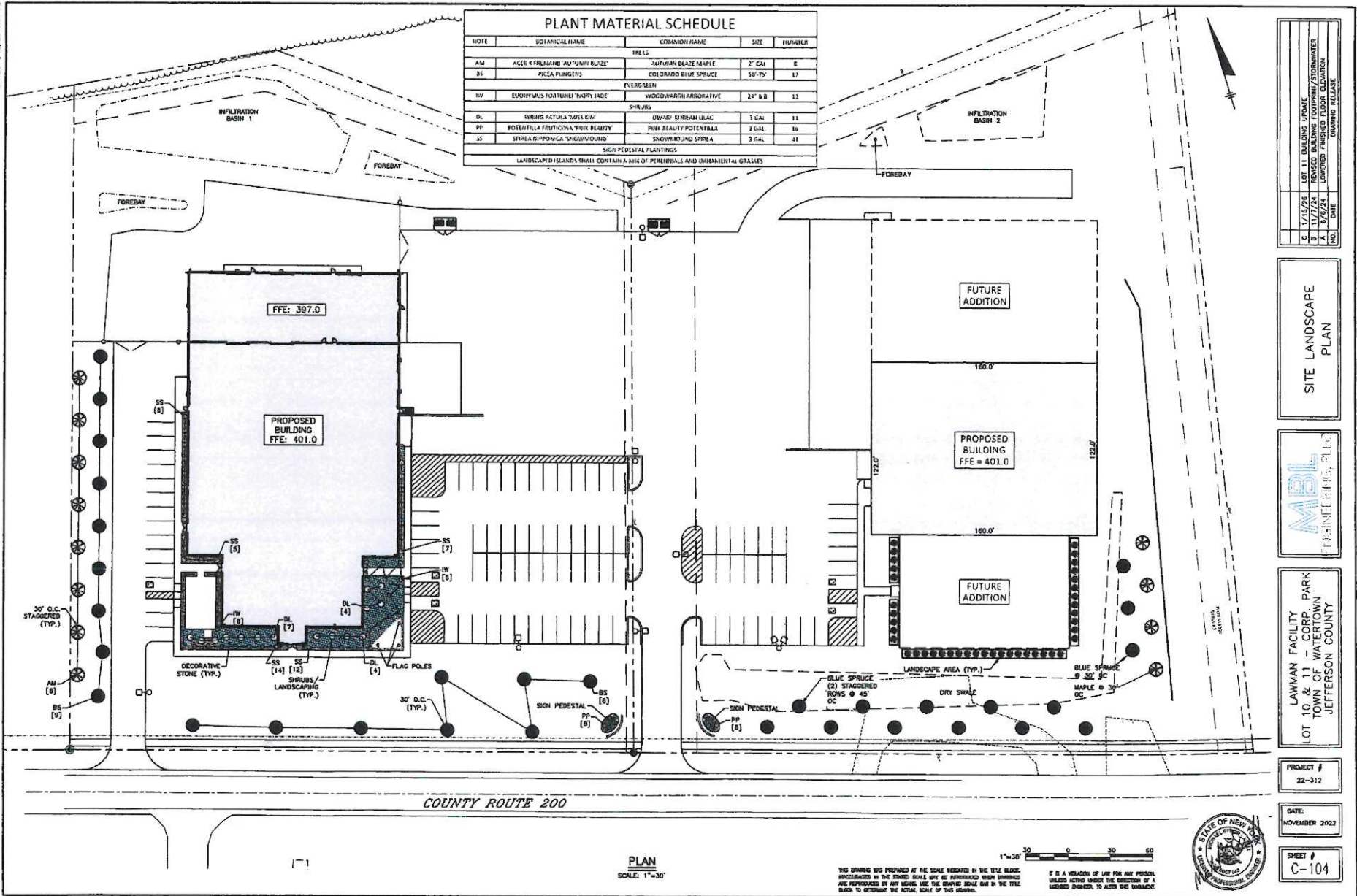
PROJECT #
22-312

DATE:
NOVEMBER 2022

SHEET #
C-103



DATE: 1/15/24 5:14 PM



C	1/15/24	LOT 11 BUILDING UPDATE
B	1/17/24	REVISED BUILDING FOOTPRINT/STORMWATER
A	2/6/24	LOWERED FINISHED FLOOR ELEVATION
NO		DRAWING RELEASE
	DATE	

SITE LANDSCAPE PLAN

MBL ENGINEERING, PLLC

**LAWMAN FACILITY
LOT 10 & 11 - CORP. PARK
TOWN OF WATERTOWN
JEFFERSON COUNTY**

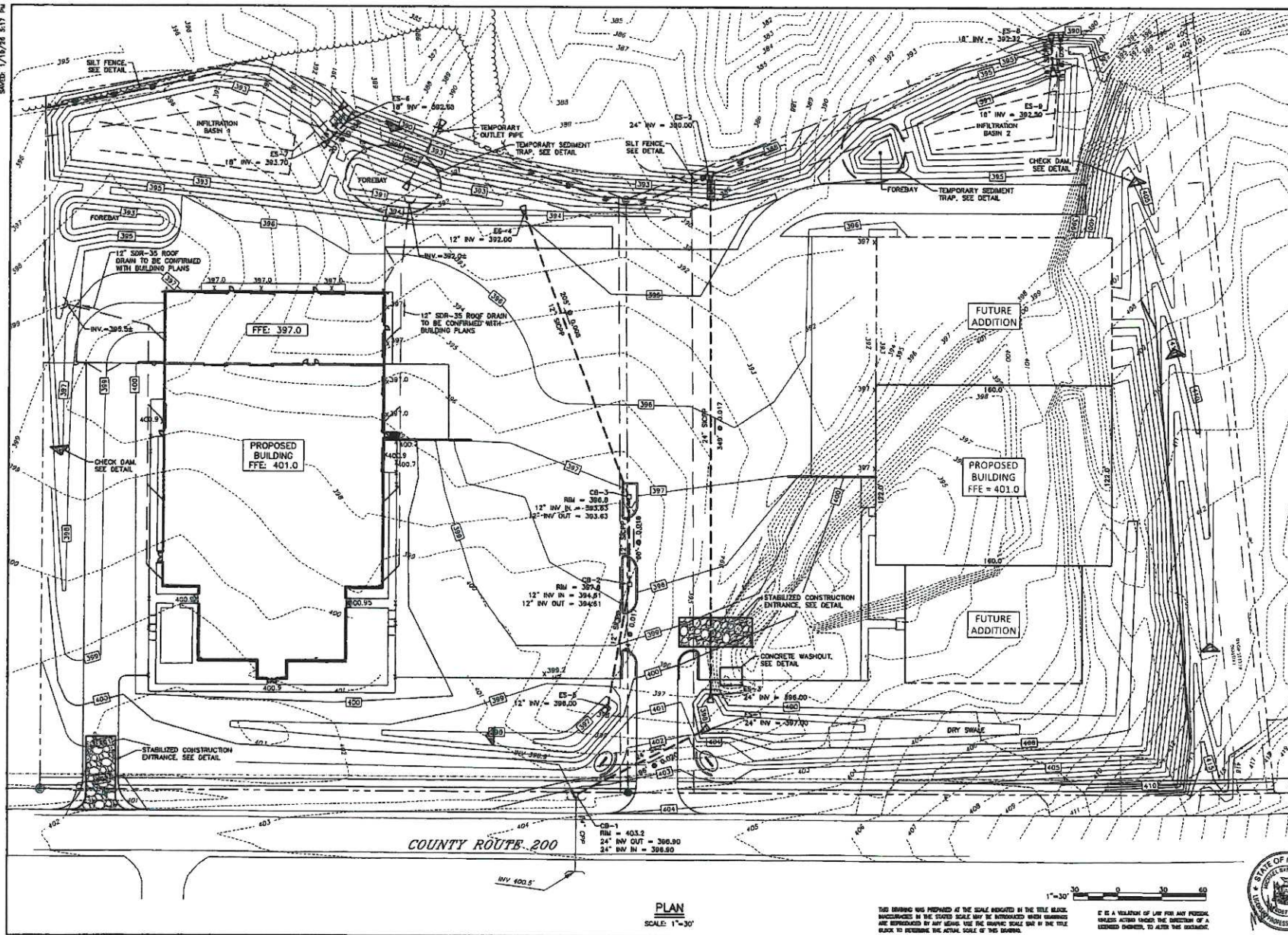
PROJECT #
22-312

DATE:
NOVEMBER 2022

SHEET #
C-104



DATE: 1/18/24 BY: [illegible]



NO.	DATE	DESCRIPTION
1	1/18/24	LOT 11 BUILDING UPDATE
2	1/18/24	REVISION: LOWERED FINISHED FLOOR ELEVATION
3	1/18/24	REVISION: SEE DETAIL
4	1/18/24	REVISION: SEE DETAIL
5	1/18/24	REVISION: SEE DETAIL
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9	1/18/24	REVISION: SEE DETAIL
10	1/18/24	REVISION: SEE DETAIL

ESC PLAN

MBL
ENGINEERING, P.C.

LAWMAN FACILITY
LOT 10 & 11 - CORP. PARK
TOWN OF WATERTOWN
JEFFERSON COUNTY

PROJECT #
22-312

DATE
NOVEMBER 2022

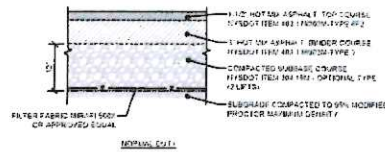
SHEET #
C-105

PLAN
SCALE: 1"=30'

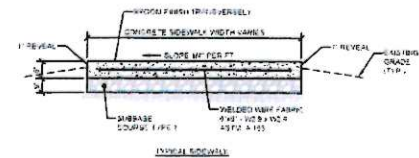
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IT IS A VIOLATION OF LAW FOR ANY PERSON TO REPRODUCE OR TRANSMIT THIS DRAWING OR ANY PART THEREOF WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OF RECORD.

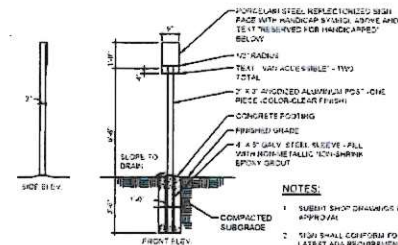




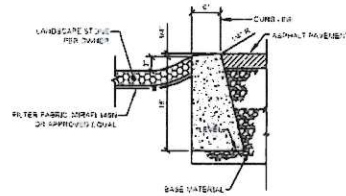
A ASPHALT CONCRETE PAVEMENT SECTIONS
NOT TO SCALE



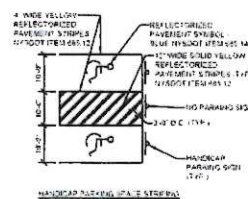
B TYPICAL SIDEWALK DETAIL
NOT TO SCALE



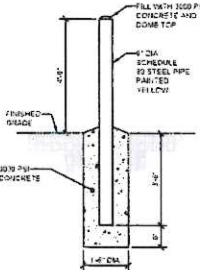
C HANDICAP PARKING SIGN
NOT TO SCALE



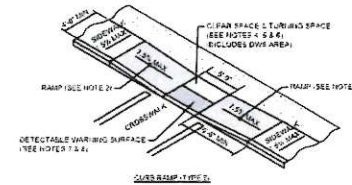
D CURBED ISLAND DETAIL
NOT TO SCALE



E STRIPING DETAILS
NOT TO SCALE



F BOLLARD DETAIL
NOT TO SCALE



G SIDEWALK CURB RAMP DETAIL
NOT TO SCALE

- NOTES:**
1. THE MINIMUM WIDTH OF A CURB RAMP SHALL BE 4'-0\".
 2. THE GRADE (RUNNING SLOPE) OF A CURB RAMP SHALL BE A MAXIMUM OF 5% (SEE NOTE 4.5.8.4). THE GRADE FOR ACCESSIBILITY AND WORK ACCEPTANCE SHALL BE 1% MAXIMUM OF 3.5%.
 3. WHERE A PUBLIC STREET CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES SHALL BE INSTALLED WITH A MAXIMUM SLOPE OF 5% FOR DESIGN AND LAYOUT AND NO MAXIMUM FOR WORK ACCEPTANCE. THE SLOPE OF FLARED SIDES IS MEASURED PARALLEL TO THE CURB LINE.
 4. WHERE A CHANGE IN DIRECTION IS REQUIRED TO UTILIZE A CURB RAMP, A TURNING SPACE SHALL BE PROVIDED AT THE BASE OR AT THE TOP OF CURB RAMPS AS APPLICABLE. TURNING SPACES SHALL BE PERMITTED TO OVERLAP CLEAR SPACES.
 5. BEYOND THE BOTTOM GRADE BREAK, A CLEAR SPACE OF 4'-0\" x 4'-0\" MINIMUM SHALL BE PROVIDED WITHIN THE WIDTH OF THE PAVED SURFACE. OUTSIDE THE PAVED SURFACE, THE CLEAR SPACE SHALL BE 4'-0\" x 4'-0\" MINIMUM. THE CLEAR SPACE SHALL OVERLAP TURNING SPACES DETECTABLE WARNING SURFACES AND CURB CURBS.
 6. TURNING SPACES SHALL NOT BE DESIGNED WITH GRADES SLOPE GREATER THAN 1% IN ANY DIRECTION WHILE PROVIDING A TYPICAL DRAINAGE OF THE PAVED SURFACE. FOR WORK ACCEPTANCE IN 2.0% A TYPICAL DRAINAGE AND VENTILATION IS REQUIRED. TURNING SPACES SHALL BE 2'-0\" MINIMUM IN DIRECTION.
 7. THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUANTITY OF DOWNS DETECTED BY THE DETECTABLE WARNING SURFACE (DWS) IS FOR ILLUSTRATION ONLY. THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 2' BY 2' IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR CURB SURFACE EXCLUDING ANY FLARED SIDES THE WIDTH OF THE DETECTABLE WARNING FIELD INCLUDES A CONCRETE BRIDGE IF PROVIDED.
 8. ON SLOPES OF 5% OR GREATER, THE ROWS OF DOWNS SHALL BE ALIGNED TO BE PERPENDICULAR OR PARALLEL TO THE LOWER GRADE BREAK ON THE RAMP RUN.

NO.	DATE	BY	REVISION
1	11/7/24	MBL	ISSUED FOR PERMITS
2	11/7/24	MBL	REVISED BUILDING FOOTPRINT/STORMWATER

MISCELLANEOUS DETAILS

MBL ENGINEERING, P.C.

LAWMAN FACILITY
LOT 10 & 11 - CORP. PARK
TOWN OF WATERTOWN
JEFFERSON COUNTY

PROJECT #
22-312

DATE:
NOVEMBER 2022

SHEET #
C-502





Dear Mr. Weir,

Please accept this email and the attached details as a formal proposal from Conklin Aluminum Alloys LLC in response to the Request for Proposals for the sale and development of Parcel No. 73.20-1-2.11 (Lots 3 & 4) within the Jefferson County Corporate Park.

As a dedicated member of the local business community and a student of Business Administration at SUNY Jefferson Community College, my lifelong dream and professional focus is to establish a state-of-the-art manufacturing facility right here in Watertown. Conklin Aluminum Alloys LLC is actively seeking to enter into a purchase agreement to secure this 7.35-acre parcel as the permanent home for our recycling and manufacturing operations.

Given the large-scale equipment procurement and engineering coordination required for this project, we propose a purchase agreement that grants a timeline of 6 months to 1 year to finalize the transaction, secure local industrial permits, and begin formal on-site construction.

Below is an overview of our development plan, aligning directly with the economic objectives of the Jefferson County Industrial Development Agency (JCIDA):

1. Proposed Purchase Price & Financial Capability

Proposed Purchase Price:

We propose a purchase price of \$140,000, matching the fair market value established by the independent 2023 appraisal.

Financing Strategy:

We are actively building our capital stack and working directly with Mark Piché at Watertown Savings Bank to unlock a \$1,000,000 Small Business Administration (SBA) commercial loan.

Advisory Support:

Our business plan and financial projections are being refined in coordination with Michael Valvo, Senior Business Advisor at the North Central Small Business Development Center (SBDC), ensuring robust operational feasibility.

2. Project Scope & Covenant Compatibility:

Our manufacturing model is uniquely suited for the Jefferson County Corporate Park's light industrial zoning and strict environmental covenants.

Advanced Infrastructure:

We plan to procure and install a Recycling Services International MAX4000 sweat furnace to process secondary aluminum castings (such as automotive components and rims) into highly sought-after specification 380 and 356 alloy ingots and sows.

Strict Environmental Compliance:

In strict compliance with the Corporate Park's regulations regarding odors, fumes, and emissions, the MAX4000 furnace features an advanced, fully EPA-compliant afterburner system. This technology converts organic contaminants (like residual oils, rubber, or plastics) into clean fuel and energy savings, keeping our facility entirely free of objectionable environmental impacts. An integrated digital data logger will continuously record and prove air-quality compliance.

Site & Utility Alignment:

The parcel's existing access to public water, public sewer, natural gas, and 480-volt, 3-phase high-voltage electricity directly matches the exact utility footprint required to power our furnace operations. We will fully adhere to the 35% maximum building coverage and strict yard setback requirements outlined in the park's protective covenants.

3. Economic and Community Impact

Job Creation:

Our long-term operational roadmap focuses heavily on community-based growth. At full capacity, this facility will bring roughly 40 high-paying, stable manufacturing and administrative jobs to the Watertown area, utilizing and expanding the local industrial workforce.

Tax Base Expansion:

Transitioning this 7.35-acre parcel from its current "Wholly Exempt" status (Roll Section 8) into a productive, privately funded manufacturing hub will successfully generate new commercial tax revenue for the municipality and the General Brown School District.

With over 20 years of hands-on, high-volume production experience in the secondary aluminum industry, I have consistently broken production records and doubled facility yields. I am fully committed to bringing that exact standard of operational excellence to this new facility.

Thank you for your time, consideration, and your ongoing efforts to foster economic development in Jefferson County. I look forward to discussing how we can advance this purchase agreement to create a lasting industrial legacy in our community.

Sincerely,

Francis Jacob Conklin III
Founder & Managing Member
Conklin Aluminum Alloys LLC
(315) 640-1458
Conklinalloys@gmail.com